



DEVELOPMENT PERMIT NO. DP000944

1774768 ONTARIO LIMITED
Name of Owner(s) of Land (Permittee)

2468 KENWORTH ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT 1, SECTION 5, WELLINGTON DISTRICT, PLAN 17696, EXCEPT
PART IN PLAN EPP31536**

PID No. 003-972-852

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Existing Site Plan
Schedule C Proposed Site Plan
Schedule D Existing Elevations
Schedule E Proposed Elevations
Schedule F Materials

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
- 4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

REVIEWED AND APPROVED ON

2015-July-28
Date


D. Lindsay
Director

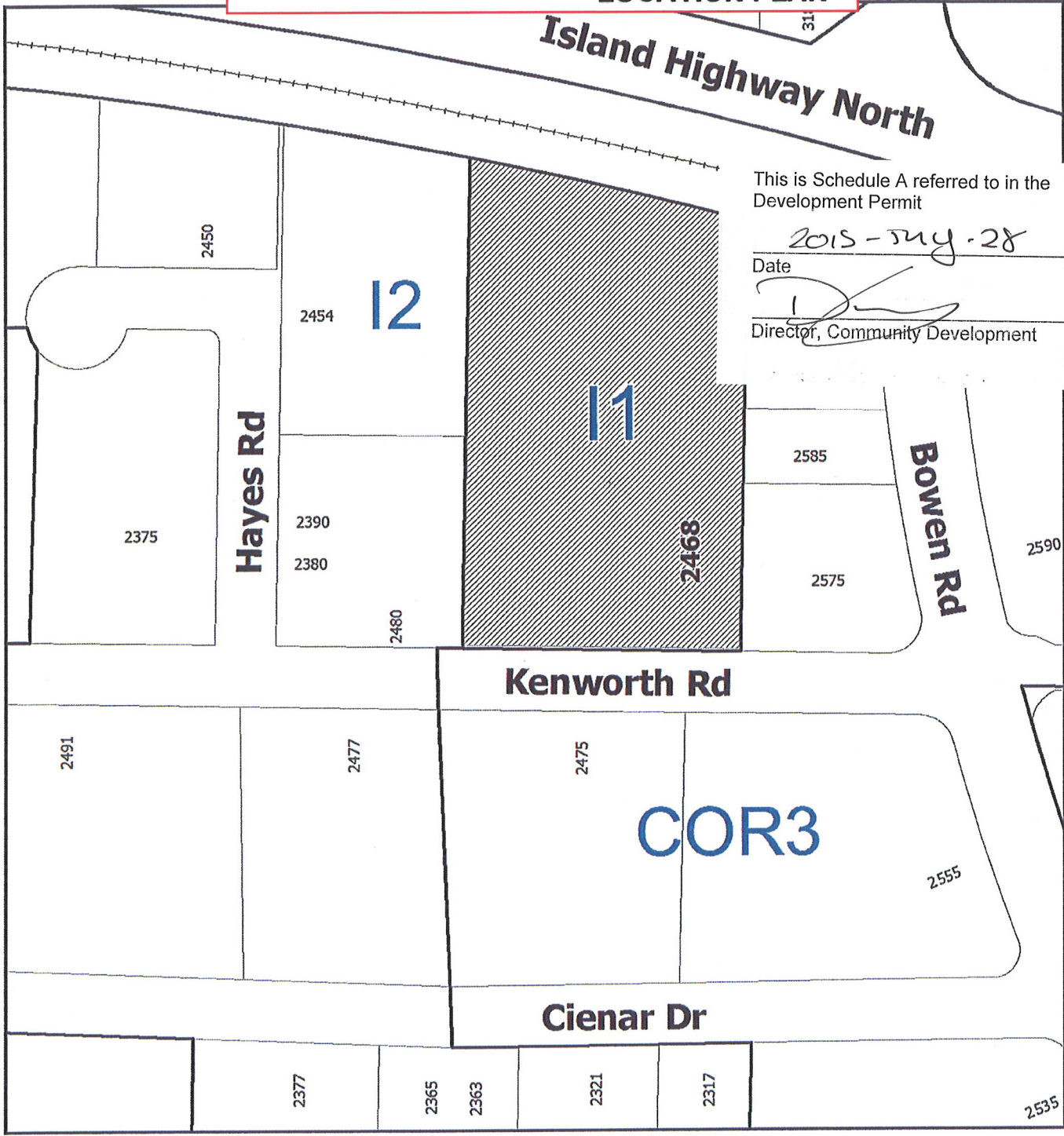
Community Development
Pursuant to Section 154 (1)(b) of the Community Charter

GN/in
Prospero attachment: DP000944

Development Permit DP000944
2468 Kenworth Road

Schedule A

LOCATION PLAN



This is Schedule A referred to in the Development Permit


Date 2015-July-28

[Signature]
Director, Community Development

DEVELOPMENT PERMIT NO. DP000944

LOCATION PLAN

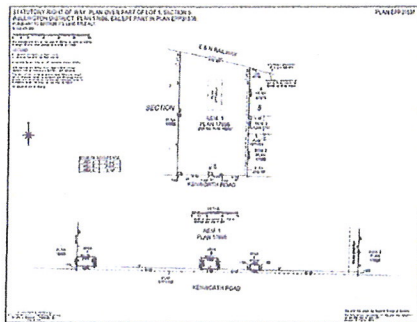
Civic: 2468 Kenworth Road
Lot 1, Section 5, Wellington District, Plan 17696,
Except Part in Plan EPP31536

 **Subject Property**

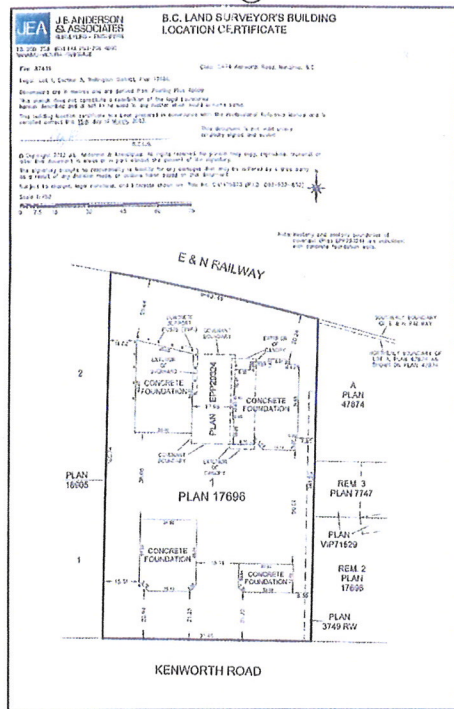
EXISTING SITE PLAN



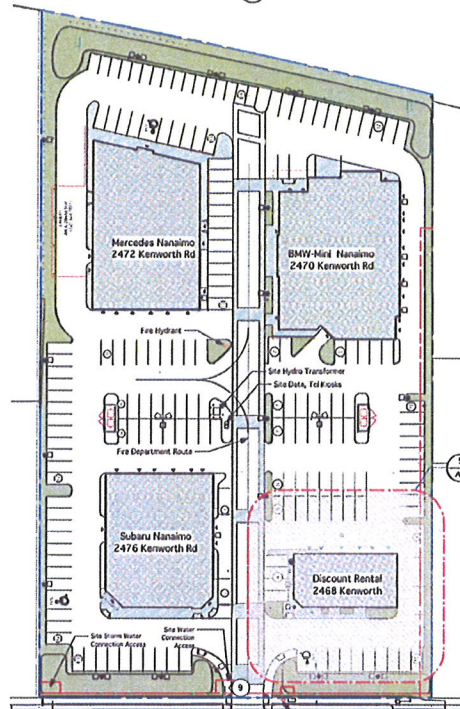
1 2468 KENWORTH RD.



4 SURVEY STAT. RIGHT OF WAY PLAN



2 Survey Location Plan
T.E.T.S.

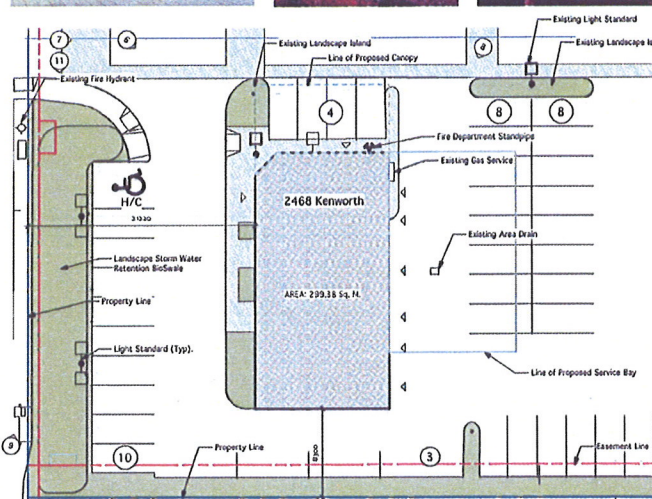


3 Site Context Plan
Scale: 1:500



PROJECT DESCRIPTION

CIVIC ADDRESS:
2468 Kenworth Rd. Nanaimo, B.C.
LEGAL DESCRIPTION:
Lot 1, Section 5, Wellington District, Plan 17696,
Except Part in Plan EPP31536



5 EXISTING SITE PLAN
Scale: 1:200

RECEIVED
By Planning & Design Section at 12:08 pm, Jul 02, 2015

AUDI SERVICE

This is Schedule B referred to in the Development Permit

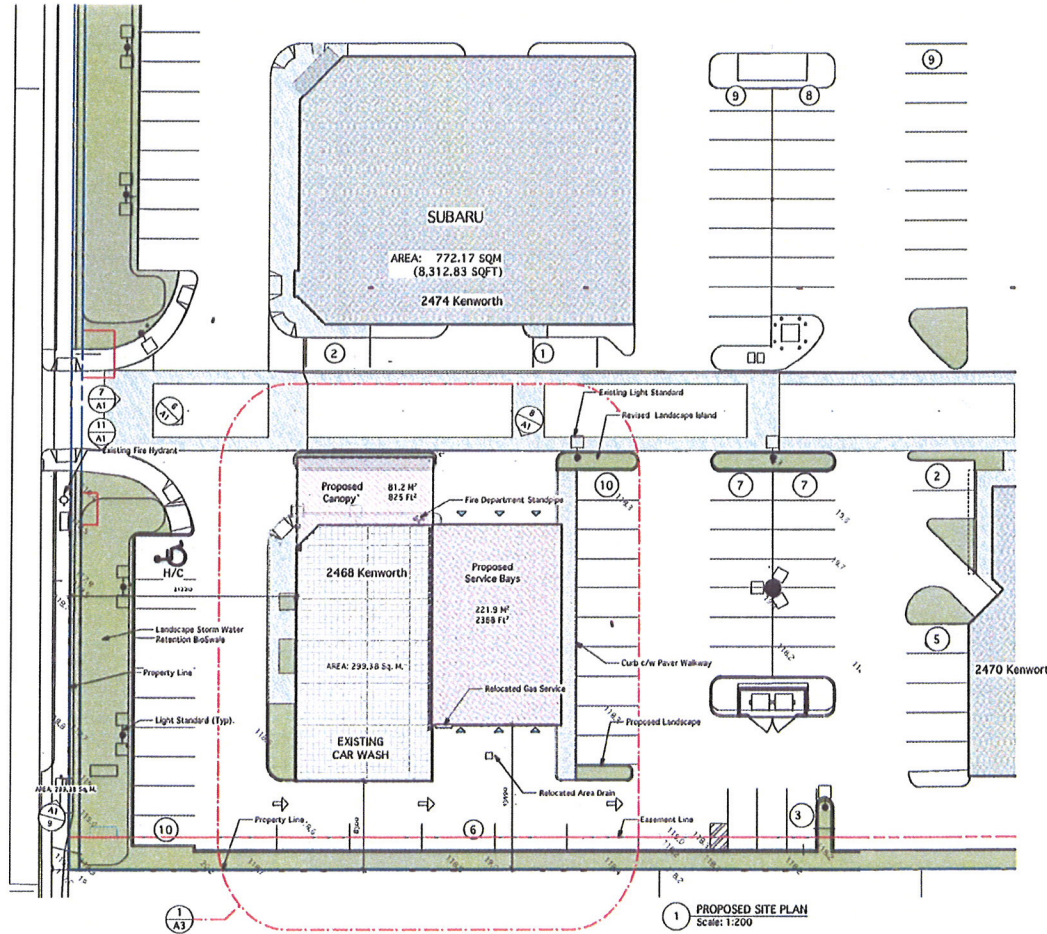
Date July 28 - 2015

Director, Community Development

SITE PLAN EXISTING A1

Project No. 1605
JUNE 29, 2015
James E. Brwin ARCHITECT INC.
1000 W. 14th Street, Nanaimo, B.C.

PROPOSED SITE PLAN



PROJECT DESCRIPTION

CIVIC ADDRESS:
2468 Kenworth Rd. Nanaimo, B.C.

LEGAL DESCRIPTION:
Lot 1, Section 5, Wellington District, Plan 17696, Except
Part in Plans EP731536

Nanaimo ZONING BYLAW SUMMARY

ZONING:	II
USE:	AUTOMOTIVE SALES & SERVICE
SITE AREA:	13,850 m ²
LOT COVERAGE:	PROPOSED LANDSCAPE AREAS 2,458.15 m ² (18.19%) ←
FLOOR AREAS:	MERCEDES-BENZ: 938.55 m ² MERCEDES-BENZ CANOPY AREA: 204.68 m ² SUBARU: 772.17 m ² BMW GROUND FLOOR: 1,026.61 m ² BMW SECOND FLOOR: 130.55 m ² BMW SECOND FLR, MEZZ: 21.00 m ² CAR RENTAL/DETAL BLDG: 299.18 m ² PROPOSED AUDI SERVICE: 221.90 m ² ← PROPOSED AUDI SERVICE CANOPY: 81.2 m ² ←
TOTAL FLOOR AREA:	3,388.34 m ² + 103.1 m ² = 3,691.44 m ² ←
FLOOR SPACE RATIO:	II PERMITTED: 0.5 to 1 EXISTING: 0.245 to 1 PROPOSED: 0.247 to 1 ←
HEIGHT OF BUILDING:	MERCEDES-BENZ: 7.54 m. SUBARU: 6.50 m. BMW: 7.50 m. CAR RENTAL: 7.46 m.
NUMBER OF STOREYS:	MERCEDES-BENZ: 1 SUBARU: 1 BMW: 2 CAR RENTAL: 1
PARKING REQUIRED: (EXISTING)	MERCEDES-BENZ SHOWROOM (1 CAR PER 1.0m ²): 53 CARS MERCEDES-BENZ SERVICE BAY (1 CAR PER SERVICE BAY): 5 CARS SUBARU SHOWROOM (1 CAR PER 1.0m ²): 42 CARS SUBARU SERVICE BAY (1 CAR PER SERVICE BAY): 7 CARS BMW SHOWROOM (1 CAR PER 1.0m ²): 60 CARS BMW SERVICE BAY (1 CAR PER SERVICE BAY): 9 CARS AUDI SERVICE RECEPTION (NO SHOWROOM) PROPOSED: 2 CARS ← CAR RENTAL/DETAL SERVICE BAY (1 CAR PER SERVICE BAY): 7 CARS ←
TOTAL PARKING PROVIDED: (PROPOSED)	171 CARS ←
TOTAL PARKING PROVIDED: (PROPOSED+EXISTING)	172 CARS ←
(INCLUDING 4 HANDICAP AND 16 SMALL PARKING)	
PARKING PROVIDED SERVICE BAYS (5+7+5+7)	24 CARS ←
TOTAL PROVIDED	196 CARS ←



AUDI SERVICE

This is Schedule C referred to in the
Development Permit

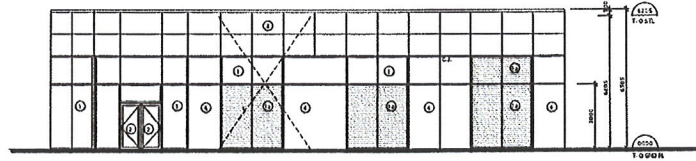
2015-July-28
Date

[Signature]
Director, Community Development

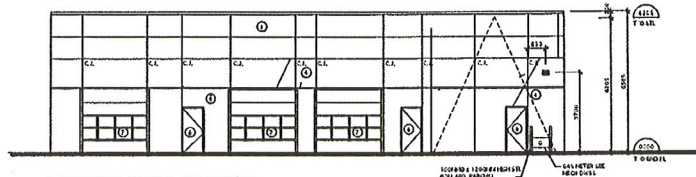
SITE PLAN PROPOSED A2

Project No. 1808
JUNE 29, 2015
James E. Ivins ARCHITECT P/C

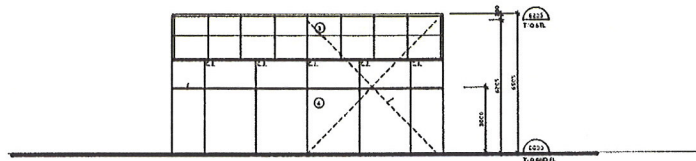
EXISTING ELEVATIONS



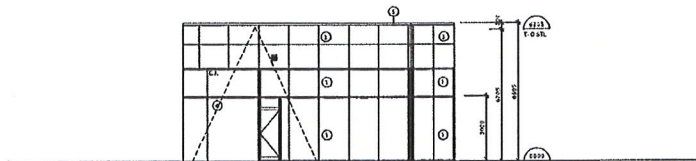
BUILDING D SOUTH ELEVATION
SCALE: 1/100



BUILDING D NORTH ELEVATION
SCALE: 1/100



BUILDING D EAST ELEVATION
SCALE: 1/100




BUILDING D WEST ELEVATION
SCALE: 1/100

EXTERIOR FINISH LEGEND

- ① CURTAIN WALL SYSTEMS ARE 1800 SERIES OR APPROXIMATELY EQUAL. CURTAIN WALLS MUST BE FINISHED WITH AN ALUMINUM ANODIZED OR POLYESTER FINISH. ALUMINUM ANODIZED OR POLYESTER FINISH SHALL BE CLEAR. THE UPPER GLASS TO BE CLEAR TO AN ANODIZED ALUMINUM "C" SYSTEM.
- ② CURTAIN WALL SYSTEMS SHALL BE 1800 SERIES OR APPROXIMATELY EQUAL. CURTAIN WALLS MUST BE FINISHED WITH AN ALUMINUM ANODIZED OR POLYESTER FINISH. ALUMINUM ANODIZED OR POLYESTER FINISH SHALL BE CLEAR. THE UPPER GLASS TO BE CLEAR TO AN ANODIZED ALUMINUM "C" SYSTEM.
- ③ DOUBLE GLAZED ALUMINUM WINDOW UNITS OR APPROXIMATELY EQUAL. WINDOW UNITS TO BE CLEAR TO AN ANODIZED ALUMINUM "C" SYSTEM.
- ④ 8 MM ALUM. CONCRETE PANELS. COLOR TO BE WHITE. C & R MET. JAMB METALS TO MATCH PANELS.
- ⑤ INSULATED PRECAST SANDWICH PANELS. SHALTFORMED FINISH. PAINTED WHITE METAL BLASTED GRAY PAINT.
- ⑥ SPANG.
- ⑦ INSULATED WALL OF METAL FRAME DOOR FINISH OF METAL FRAME COLOR TO BE PAINTED GREY.
- ⑧ SECTIONAL PAINTED STEEL OVER HEAD DOOR WITH 8 MILS OF ALUM. FINISH AND EXPANDED GLASS PANEL. SECTIONAL THESE SHALL BE ELEVATION. POWER COAT WHITE DOOR TO BE WHITE.

RECEIVED
By Planning & Design Section at 1:00 pm, Jul 02, 2015

 AUDI S

This is Schedule D referred to in the
Development Permit

2015-July-28
Date

Director, Community Development

ELEVATIONS - EXISTING A4

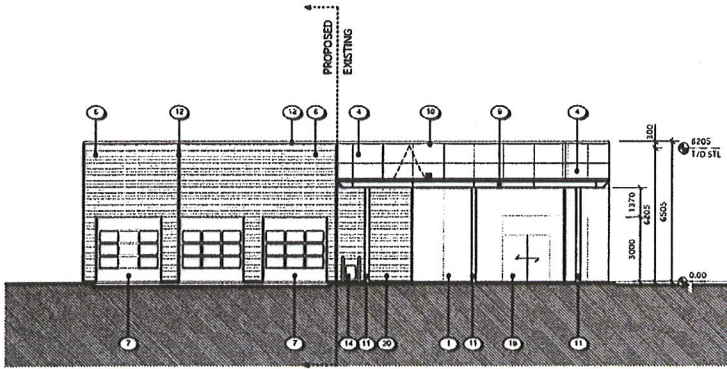
Project No. 1508
JUNE 26, 2015

James E. Irwin ARCHITECT INC
11111 148th Avenue

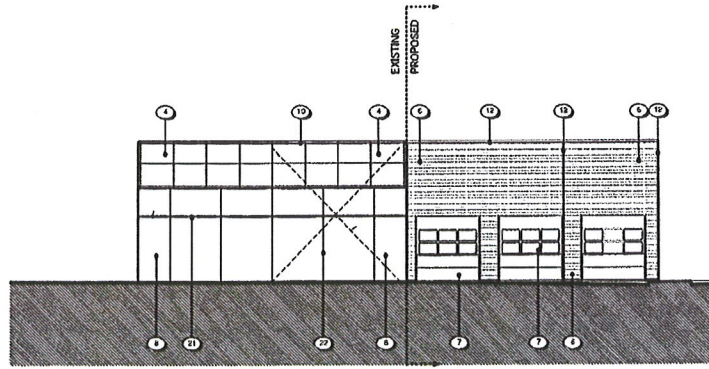
PROPOSED ELEVATIONS

MATERIALS SCHEDULE

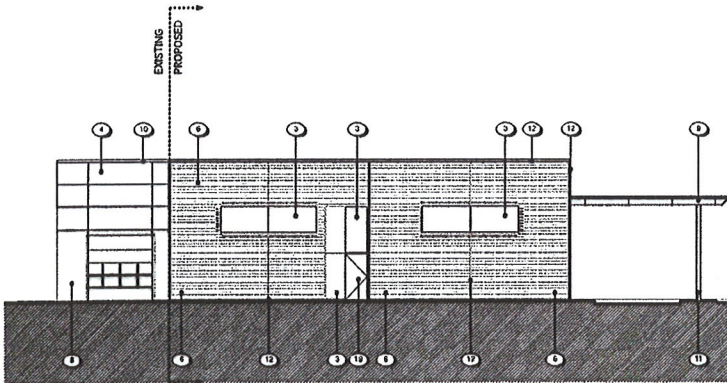
- 1 CURTAIN WALL - EXISTING ANOD, ALUMINUM & CLEAR GLASS
- 2 CURTAIN WALL - EXISTING SPACED GLASS
- 3 DOUBLE GLAZED WINDOW ANOD, ALUMINUM & CLEAR GLASS (NEW)
- 4 EXISTING ACM PANEL - WHITE, REPLACE WITH SILVER ACM
- 5 ALUMINUM COMPOSITE PANEL - SILVER
- 6 METAL PANEL PANEL SYSTEM - CORRUGATED
- 7 DOOR - ANODIZED, ALUMINUM & GLASS
- 8 EXISTING INSULATED PRECAST PANEL - PAINT SILVER
- 9 CANOPY ALUMINUM COMPOSITE PANEL - SILVER
- 10 EXISTING PAINTED METAL FLASHING - REPLACE WITH SILVER
- 11 CANOPY COLUMN - ALUMINUM COMPOSITE PANEL - SILVER
- 12 PREFINISHED METAL FLASHING - SILVER
- 13 EXISTING FIRE DEPARTMENT CONNECTION
- 14 PAINTED GAS METER
- 15 ALUMINUM SIGN
- 16 DEALER NAME SIGN
- 17 "SERVICE" SIGN
- 18 SLIDING ENTRY DOOR, ANODIZED ALUMINUM DOUBLE GLAZED THERMO
BRO EXISTING C/PW GLAZING/FIRAME
- 19 DOOR - HOLLOW METAL DOOR, ENAMELED, PAINTED
- 20 EXISTING INSULATED PRECAST PANEL - BEH METAL EXTERIOR SYSTEM
- 21 FLEVEA - PRECAST PANEL EXISTING (TYP)
- 22 PRECAST PANEL VERTICAL JOINT (TYP)
- 23 -



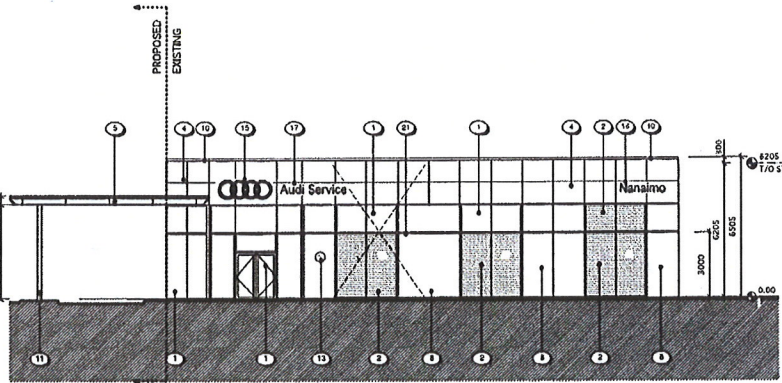
2 WEST ELEVATION (PROPOSED)
Scale: 1:100



4 EAST ELEVATION (PROPOSED)
Scale: 1:100



1 NORTH ELEVATION (PROPOSED)
Scale: 1:100



3 SOUTH ELEVATION (PROPOSED)
Scale: 1:100

RECEIVED
By Planning & Design Section at 1:00 pm, Jul 23, 2015

GDV AUD

This is Schedule E referred to in the
Development Permit

2015 - July - 28
Date

[Signature]
Director, Community Development

ELEVATIONS - PROPOSED A5

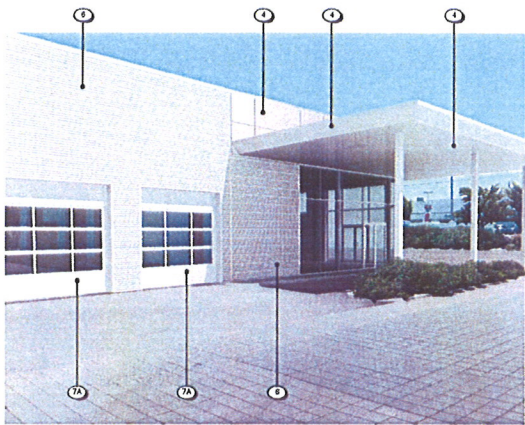
Project No. 1505
JUNE 29, 2015
James E. Bravin ARCHITECTING
1724 A.S. 148-2524-1111

1	161	Exterior Wall	Spec: Federal Architectural Co. 161 Series 161-1000 or equivalent. Color: 161-1000. Finish: 161-1000. Weight: 161-1000. Supplier: Federal Architectural Co.
2	162	Exterior Wall	Spec: Federal Architectural Co. 162 Series 162-1000 or equivalent. Color: 162-1000. Finish: 162-1000. Weight: 162-1000. Supplier: Federal Architectural Co.
3	163	Exterior Wall	Spec: Federal Architectural Co. 163 Series 163-1000 or equivalent. Color: 163-1000. Finish: 163-1000. Weight: 163-1000. Supplier: Federal Architectural Co.
4	164	Exterior Wall	Spec: Federal Architectural Co. 164 Series 164-1000 or equivalent. Color: 164-1000. Finish: 164-1000. Weight: 164-1000. Supplier: Federal Architectural Co.
5	165	Exterior Wall	Spec: Federal Architectural Co. 165 Series 165-1000 or equivalent. Color: 165-1000. Finish: 165-1000. Weight: 165-1000. Supplier: Federal Architectural Co.
6	166	Exterior Wall	Spec: Federal Architectural Co. 166 Series 166-1000 or equivalent. Color: 166-1000. Finish: 166-1000. Weight: 166-1000. Supplier: Federal Architectural Co.
7	167	Exterior Wall	Spec: Federal Architectural Co. 167 Series 167-1000 or equivalent. Color: 167-1000. Finish: 167-1000. Weight: 167-1000. Supplier: Federal Architectural Co.
8	168	Exterior Wall	Spec: Federal Architectural Co. 168 Series 168-1000 or equivalent. Color: 168-1000. Finish: 168-1000. Weight: 168-1000. Supplier: Federal Architectural Co.
9	169	Exterior Wall	Spec: Federal Architectural Co. 169 Series 169-1000 or equivalent. Color: 169-1000. Finish: 169-1000. Weight: 169-1000. Supplier: Federal Architectural Co.
10	170	Exterior Wall	Spec: Federal Architectural Co. 170 Series 170-1000 or equivalent. Color: 170-1000. Finish: 170-1000. Weight: 170-1000. Supplier: Federal Architectural Co.
11	171	Exterior Wall	Spec: Federal Architectural Co. 171 Series 171-1000 or equivalent. Color: 171-1000. Finish: 171-1000. Weight: 171-1000. Supplier: Federal Architectural Co.
12	172	Exterior Wall	Spec: Federal Architectural Co. 172 Series 172-1000 or equivalent. Color: 172-1000. Finish: 172-1000. Weight: 172-1000. Supplier: Federal Architectural Co.

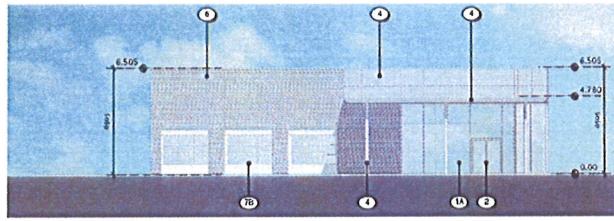
1 AUDI SERVICE DESIGN MATERIALS



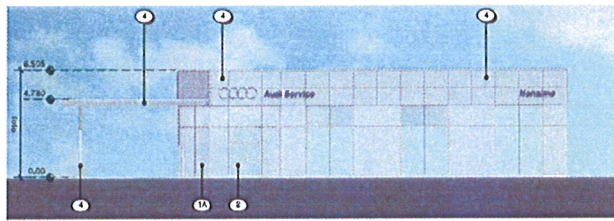
2 AUDI SERVICE VANCOUVER



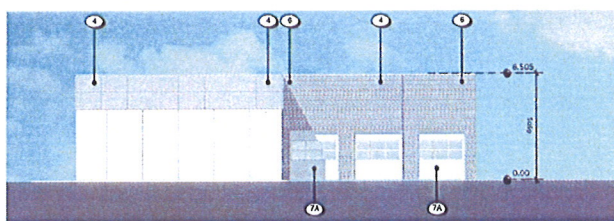
3 PROPOSED SERVICE ENTRY



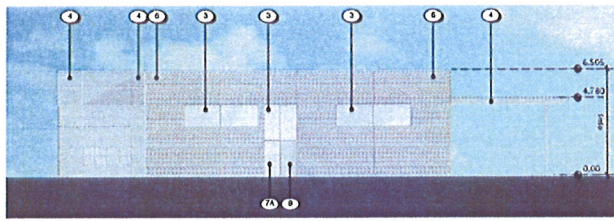
4 WEST ELEVATION MATERIALS



5 SOUTH ELEVATION MATERIALS



6 EAST ELEVATION MATERIALS



7 NORTH ELEVATION MATERIALS



This is Schedule F referred to in the Development Permit

Date 2015-July 28

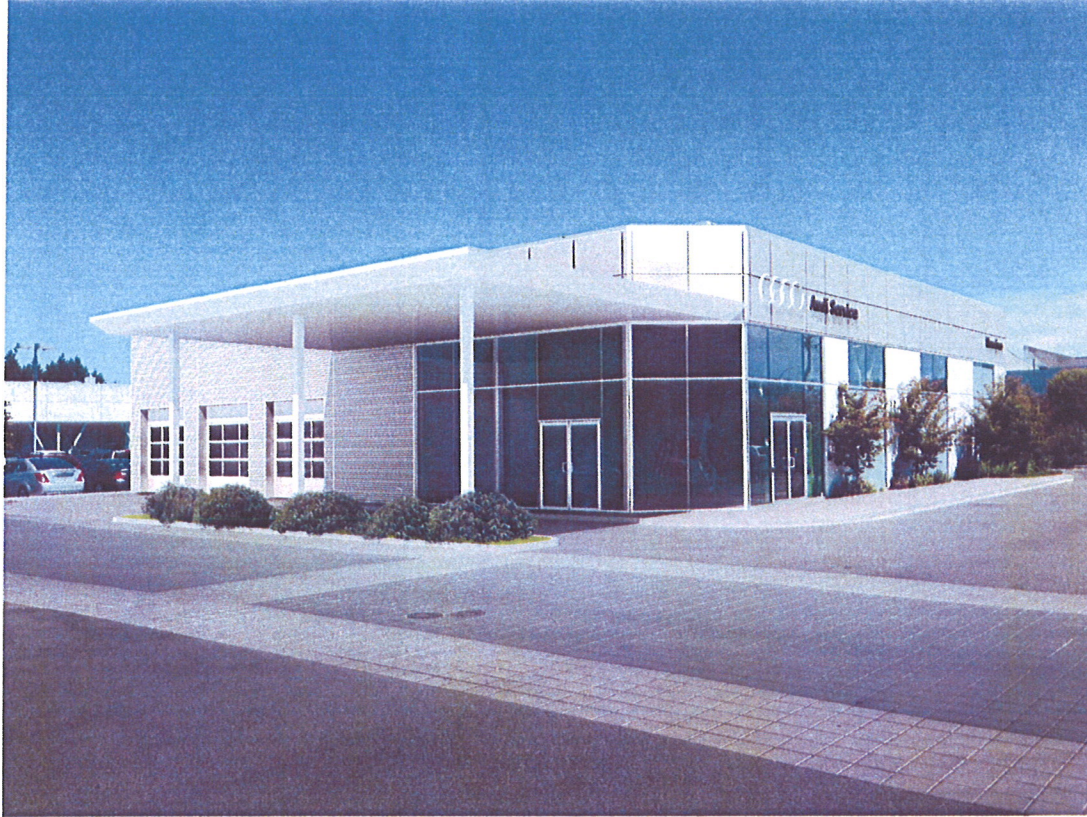
Director, Community Development



RECEIVED
By Planning & Design Section at 1:02 pm, Jul 03, 2015

Project No. 1605
June 29, 2015
James E. Brwin ARCHITECT P.C.
12345 - 1234567890

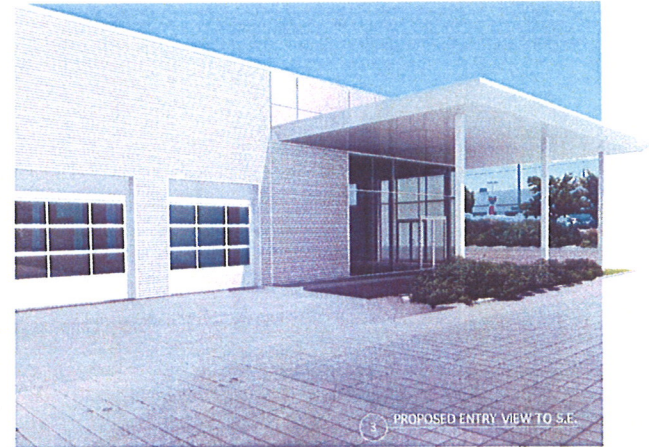
RENDERINGS



1 PERSPECTIVE PHOTOMATCH VIEW TO ENTRY



2 PROPOSED VIEW TO NORTH



3 PROPOSED ENTRY VIEW TO S.E.



AUDI SERVICE NANAIMO

This is Schedule G referred to in the
Development Permit

2015 - July 28
Date

[Signature]
Director, Community Development



RECEIVED
By Planning & Design Section At 1:02 pm, Jul 02, 2015

VIGNETTES A8

Project No. 1605
June 29, 2015

JAMES E. BROWN ARCHITECT INC.
1000 15th Street, Nanaimo, BC